



SPECIAL EXCEPTION USE APPLICATION

Shelbyville Planning & Building Department
44 West Washington Street
Shelbyville, IN 46176
P: 317.392.5102

For Office Use Only:

Case #: BZA _____ - _____

Hearing Date: _____

Fees Paid: \$ _____

Final Decision:

Approved _____ Denied _____

1.

Applicant

Name: Speedway LLC
Address: 500 Speedway Drive
Enon, OH 45323
Phone Number: (937) 405-7043
Fax Number: _____
Email: jenniferhigh@speedway.com

Property Owners Information (if different than Applicant)

Name: Exit 109, LLC c/o Kulkami Properties
Address: 400 Smith Rd. Suite 190, Cincinnati, OH 45209
Phone Number: 513-863-1400
Fax Number: _____
Email: shtree.kulkarni@kulkamiproperties.com

2.

Applicant's Attorney/Representative

Name: Eric Carter, RLA, Weihe Engineers, Inc.
Address: 10505 N. College Avenue, Indianapolis, IN
Phone Number: 317-846-6611
Fax Number: _____
Email: cartere@weihe.net

Project Engineer

Name: Scott Rucker, Weihe Engineers, Inc.
Address: 10505 N. College Avenue, Indianapolis, IN
Phone Number: 317-846-6611
Fax Number: _____
Email: ruckers@weihe.net

3. Project Information:

General Location of Property (and address is applicable): 3877-3977 N. Michigan Rd. (Southwest Corner of Michigan Rd. &

Current Zoning: BH, Race Track Overlay, Airport Compatibility Overlay

Existing Use of Property: Vacant

Proposed Zoning: No Change requested

Proposed Use: Convenience Store with Auto and Commercial fueling

4. Attachments

- Affidavit and Consent of Property Owner (if applicable)
- Vicinity Map
- Proof of Ownership (copy of deed)
- Application Fee
- Letter of Intent
- Findings of Fact

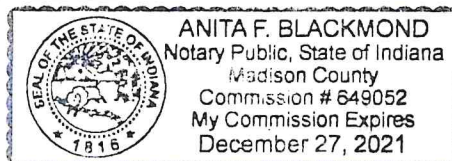
The undersigned states the above information is true and correct as s/he is informed and believes.

Applicant: [Signature] Date: 12-2-2020

State of IN
County of Hamilton SS:

Subscribed and sworn to before me this 2nd day of December 2020
Anita Blackmond, Anita Blackmond
Notary Public Printed

Residing in Madison County. My Commission Expires: 12/27/21





SPECIAL EXCEPTION USE FINDINGS OF FACT

Petitioner's Name: Speedway LLC
Location: 3877-3977 N. Michigan Road
Special Exception for: Convenience store with Commercial and Auto fuel sales

The Shelbyville Board of Zoning Appeals must determine that the following criteria have been met in order to approve an application for a Use Variance. Using the lines provided, please explain how your request meets each of these criteria.

- 1. General Welfare:** Explain why granting the request for a use variance will not be harmful to the public health, safety and general welfare of the City of Shelbyville.
The underground storage tanks, piping and dispensers associated with the fueling for both the commercial and auto will meet current environmental, State, and Federal standards.
- 2. Compatibility and Impact:** Explain why the special exception will be in harmony with the adjacent uses and will not substantially have an adverse impact on the adjacent properties and property values.
The commercial and auto fueling for this convenience store is compatible with the adjoining property and will serve the surrounding entertainment use.
- 3. Character:** Explain why the special exception will not adversely alter the character of the zoning district.
Commercial and auto fueling is regulated via Special Exception in the Business Highway zoning ordinance. It will serve surrounding entertainment use and is compatible with adjoining property use.
- 4. Comprehensive Plan:** Explain why the special exception is consistent with the intent of the zoning district and the goals of the Comprehensive Plan. Use statements and future land use map from the Comprehensive Plan and Article 2 of the Unified Development Ordinance.
Fuel sales are regulated via Special Exception in the zoning district. The convenience store with proposed fueling compliments the casino and racetrack operations and potential retail, hotel and restaurants for both the Entertainment and Gateway Mixed Use classification in the comprehensive plan by supporting these developments.
- 5. Impact to Adjacent Area:** The use and property value of the area adjacent to the subject property seeking a Special Exception will not be affected in a substantially adverse manner.
The proposed fuel sales will be compatible with the adjoining use and will provide support for the surrounding entertainment and potential development



LETTER OF INTENT
BOARD OF ZONING APPEALS

Please write a brief summary of the project and the variance(s) requested. You may submit on this form or on your own letterhead.

Petitioner, Speedway LLC, is seeking a special exception to allow for fuel sales in the Business Highway, Airport Compatibility Overlay, and Race Track Overlay district. Speedway proposes to construct a 4608 SF convenience store with 3 Commercial fueling lanes and 8 auto fueling dispensers (16 fueling positions), as shown on a plot plan submitted with this application. The proposed Speedway will be compatible with adjoining uses and will serve travelers on the adjoining interstate as well as the local business and entertainment both current and future development. Speedway's main business is to maintain a fuel and go model. Limited truck parking, no showers, and no restaurant similar to the the adjoining property truck stop, they maintain their fuel and go model.

4. Continued (Comprehensive Plan):

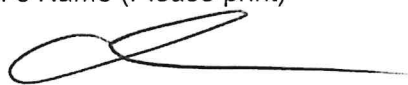
The proposed development is located in the Business Highway District as noted in Article 2, Section 2.23 and at a major interstate interchange. The Business Highway District is described for intended use to service travelers and specific location near high-volume streets for accessibility to goods and services provided, as is the case for Petitioner's proposed use. The proposed development is also located in the Airport Compatibility Overlay and meets the guidelines associated with Article 3, Section 3.01, including height restrictions, safety measures, public assembly and is located outside of the Runway Clear Zone. Lastly, the subject property meets all criteria described in the Race Track Overlay, Section 3.05 as to adequately accommodate traffic in the area and support Shelbyville's race track facility and growth.

**AFFIDAVIT & CONSENT OF PROPERTY OWNER
APPLICATION TO THE SHELBYVILLE BOARD OF ZONING APPEALS**

STATE OF ^{OHIO} INDIANA)
COUNTY OF SHELBY) SS:

I, SHREE KULKARNI, AFTER BEING DULY SWORN, DEPOSE AND SAY
(Name of property owner)
THE FOLLOWING:

1. That I am the owner of real estate located at 3977 N. MICHIGAN RD.
(Address of affected property)
2. That I have read and examined the Application made to the Shelbyville Board of Zoning Appeals by: SPEEDWAY
(Name of applicant)
3. That I have no objections to and consent to the request(s) described in the Application made to the Shelbyville Board of Zoning Appeals.

SHREE KULKARNI, EXIT 109, LLC
Owner's Name (Please print)

Owner's Signature

State of Indiana)
County of Shelby) SS:

Subscribed and sworn to before me this 16th day of November, 2020

Joy Jones, Joy Jones
(Notary Public) Printed

Residing in Butler County. My Commission Expires 4/16/22



JOY JONES
NOTARY PUBLIC
STATE OF OHIO
My Commission Expires
April 16, 2022

DESCRIPTION AS SURVEYED

Part of the Northeast quarter of Section 14, a part of the Southeast quarter of Section 11, and part of the Northwest quarter of Section 13, all in Township 13 North, Range 6 East, Shelby County, Indiana based upon a retracement survey by Weihe Engineers, Inc. Project No. 200447, dated November 4, 2020, described as follows:

Commencing at the Northeast Corner of said Section 14; thence North 89 degrees 54 minutes 29 seconds West (bearings are derived from coordinates based on the Indiana State Plane Coordinate System East Zone NAD 83 (2011) epoch 2010.0) along the North line of Section 14 40.00 feet to a 5/8 inch rebar on the West line of County Road 200 West and the POINT OF BEGINNING; thence along said West Right-of-Way South 00 degree 03 minutes 11 seconds East 328.01 feet to the point of curvature of a curve concave northeasterly having a radius of 756.17 feet, the radius point bears North 89 degrees 56 minutes 49 seconds East; thence Southeasterly along said curve and Right-of-Way 280.15 feet to the east line of said Section 14 which bears South 68 degrees 43 minutes 11 seconds West from the radius point; thence along said east line South 01 degrees 07 minutes 45 seconds East 127.78 feet to the Northeasterly Right-of-Way of I-74; thence the next six (6) courses being along said Right-of-Way 1.) North 46 degrees 39 minutes 19 seconds West 127.78 feet; 2.) North 44 degrees 28 minutes 22 seconds West 270.72 feet; 3.) North 43 degrees 15 minutes 23 seconds West 245.62 feet; 4.) North 34 degrees 03 minutes 03 seconds West 276.94 feet; 5.) North 25 degrees 57 minutes 48 seconds West 203.84 feet; 6.) North 23 degrees 35 minutes 36 seconds East 62.87 feet to the South Right-of-Way of County Road 400 North; thence the next three (3) courses being along said Right-of-Way; 1.) North 82 degrees 48 minutes 47 seconds East a distance of 310.06 feet to non-tangent curve concave to the South having a radius of 1105.92 feet the radius point bears South 05 degrees 30 minutes 58 seconds West; 2.) thence Easterly along said curve 265.41 feet to a point that bears North 19 degrees 15 minutes 59 seconds East from the radius point; 3.) thence South 39 degrees 22 minutes 56 seconds East a distance of 77.79 feet to the west Right-of-Way of County Road 200 West; thence along said Right-of-Way South 00 degrees 03 minutes 11 seconds East a distance of 124.39 feet to the Point of Beginning containing 8.13 acres, more or less.

ENTER FOR TAXATION

DEC 30 2008

C & I
CTIC # 412100 MJS

WARRANTY DEED

Amy H. Haberman
SHELBY COUNTY AUDITOR

THIS INDENTURE WITNESSETH, that RUMPKE OF INDIANA, INC., an Indiana corporation (f/k/a Rumpke of Indiana-Shelbyville, Inc.) ("Grantor") **CONVEYS AND WARRANTS** to EXIT 109, LLC, an Indiana limited liability company, for the sum of Ten and 00/100 Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the real estate located in Shelby County, in the State of Indiana, which is described in **Exhibit "A"**, attached hereto and made a part hereof, together with all improvements located thereon, (the "Real Estate").

The foregoing conveyance shall be subject only to: (i) real estate taxes and assessments due and payable in 2008, and all subsequent taxes, and (ii) those easements, restrictions, agreements, covenants and encumbrances more particularly described on **Exhibit "B"** attached hereto and incorporated herein by reference.

TOGETHER WITH all rights, privileges, interests, easements, hereditaments, appurtenances and tenements thereunto belonging or pertaining to the Real Estate.

The undersigned person executing this Warranty Deed on behalf of Grantor represents and certifies that he is the duly authorized officer of Grantor and has been fully empowered and duly authorized by all necessary action of Grantor to execute and deliver this Warranty Deed; that Grantor has full capacity to convey the Real Estate; and that all necessary action for the making of such conveyance has been taken or done.

IN WITNESS WHEREOF, Grantor has caused this Warranty Deed to be executed as of the 14 day of OCTOBER, 2008.

Rumpke of Indiana, Inc., an Indiana corporation

By: *William J. Rumpke*
William J. Rumpke, President

Exhibit "A"
Legal Description

A part of the Northeast quarter of Section 14, a part of the Southeast quarter of Section 11, and part of the Northwest quarter of Section 13, all in Township 13 North, Range 6 East, Shelby County, Indiana described as follows:

Commencing at the Northeast corner of said Section 14; thence North 88 degrees 43 minutes 49 seconds West along the North line of Section 14 a distance of 40.00 feet to a 5/8 inch rebar on the West line of County Road 200 West and the Point of Beginning; thence along said West Right-of-Way South 01 degree 15 minutes 43 seconds West a distance of 328.01 feet to a tangent curve having a radius of 756.17 feet and being concave to the Northeast; thence Southerly along said curve and Right-of-Way 628.76 feet; thence South 46 degrees 11 minutes 55 seconds East along said Right-of-Way a distance of 674.27 feet; thence North 88 degrees 33 minutes 34 seconds West a distance of 39.53 feet to the Northeasterly Right-of-Way of I-74; thence the next six (6) courses being along said Right-of-Way

1. North 45 degrees 20 minutes 25 seconds West a distance of 1022.77 feet
2. North 43 degrees 09 minutes 28 seconds West a distance of 270.72 feet
3. North 41 degrees 56 minutes 29 seconds West a distance of 245.62 feet
4. North 32 degrees 44 minutes 09 seconds West a distance of 276.94 feet
5. North 24 degrees 38 minutes 54 seconds West a distance of 203.84 feet
6. North 24 degrees 54 minutes 30 seconds East a distance of 62.87 feet to the South Right-of-Way of County Road 400 North; thence the next three (3) courses being along said Right-of-Way
 1. North 84 degrees 07 minutes 41 seconds East a distance 310.06 feet to a tangent curve concave to the South having a radius of 1105.92 feet
 2. Thence Easterly along said curve 265.40 feet
 3. Thence South 38 degrees 04 minutes 02 seconds East a distance of 77.79 feet to the West Right-of-Way of County Road 200 West; thence along said Right-of-Way South 01 degrees 15 minutes 43 seconds West a distance of 124.39 feet to the Point of Beginning containing 8.68 acres.

Exhibit "B"
Permitted Exceptions

1. Taxes for the year 2007 due and payable in 2008 are a lien not yet due and payable.
2. Taxes for the year 2008 due and payable in 2009 are a lien not yet due and payable.
3. Permanent extinguishment of all rights and easements of ingress and egress, to, from and across the limited access facility known as Interstate 74, to and from the land.
4. Sixteen (16) foot underground electric line easement and rights of way granted to Public Service Company of Indiana, Inc. as set forth in an electric underground line easement dated December 1, 1989 and recorded April 27, 1990 in Deed Record 304, pages 583-584 as instrument No. 01758. (Tract B)
5. Indiana Department of Environmental Management Certificate of Completion issued to Rumpke of Indiana, Inc., pursuant to IC 13-25-5, recorded April 30, 2002 as Instrument No. 0204240. (Tract B)
6. Overhead power lines as shown on the ALTA Survey prepared by Bledsoe Riggert Guerrettez as Project No. 3851 last revised on October 16, 2008.

EXISTING LEGEND

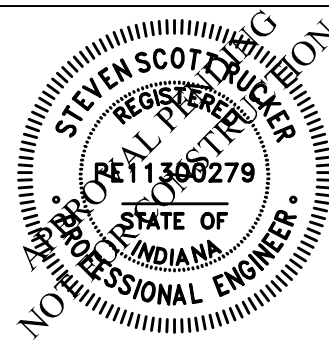
- SIGN
- AIR CONDITIONER
- DOWN SPOUT
- GATE POST
- AIR COMPRESSOR
- FILL PORT
- GAS PUMP
- MONITORING WELL
- VENT PIPE
- CLEANOUT (UNIDENTIFIED)
- SPRINKLER CONTROL VALVE
- WATER METER
- WATER VALVE
- GAS METER
- GAS VALVE
- CONIFEROUS TREE
- ELECTRIC METER
- GUY ANCHOR
- UTILITY POLE
- ELECTRIC JUNCTION BOX
- LIGHT POLE
- UTILITY POLE W/ TRANSFORMER
- STORM CLEANOUT
- TRAFFIC CONTROL JUNCTION BOX
- TRAFFIC CONTROL MANHOLE
- TRAFFIC SIGNAL POLE
- HANDICAPPED SPACE
- BOLLARD
- POST
- DECIDUOUS TREE
- UNDERGROUND GAS
- UNDERGROUND WATER
- AERIAL ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND COMMUNICATION
- CHAIN LINK FENCE
- BOARD FENCE
- STORM LINE
- SANITARY LINE
- GUARD RAIL
- RIGHT-OF-WAY LINE
- RCP REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- CMP CORRUGATED METAL PIPE
- B.G. BELOW GRADE
- FFE FINISH FLOOR ELEVATION

PROPOSED LEGEND

- STORM MANHOLE
- STORM INLET
- STORM CLEANOUT
- CLEANOUT (UNIDENTIFIED)
- ♿ HANDICAPPED SPACE
- BOLLARD
- ⊕ SIGNS
- G — UNDERGROUND GAS
- W — UNDERGROUND WATER
- E(A) — AERIAL ELECTRIC
- E(U) — UNDERGROUND ELECTRIC
- C — UNDERGROUND COMMUNICATION
- CHAIN LINK FENCE
- BOARD FENCE
- STORM LINE
- SANITARY LINE
- GUARD RAIL

- A. GENERAL NOTES**
- REFER TO CD DEMOLITION PLAN AND CS PLOT PLAN FOR PROPER NOTATION, LAYOUT, AND NOTES.
 - DENOTE ANY CONFLICTS (E.G. UTILITY LINES) BETWEEN THE CD AND CS PLANS AND MAKE APPROPRIATE CHANGES TO THE TIMELINE/SCHEDULE, ACTIVITY SEQUENCING AND NECESSARY MATERIALS FOR PROPER CONSTRUCTION.

WEIHE ENGINEERS
 Land Surveying / Civil Engineering
 Landscaping Architecture
 10505 N. College Avenue
 Indianapolis, Indiana 46280
 317.846.6611
 800.452.6408
 317.843.0546/fax
 317.843.0546/web
 ALAN W. WEIHE, P.E., P.L.S., F.O.S.T.N.D.



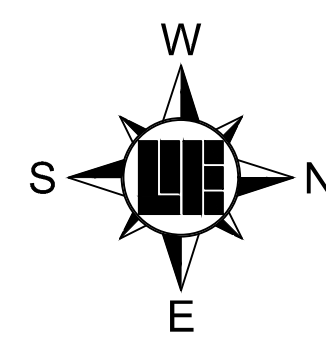
STEVEN SCOTT RUCKER, P.E. 11300279



NO.	DATE	REVISIONS
1	12/2/2020	CE PHASE PLANS

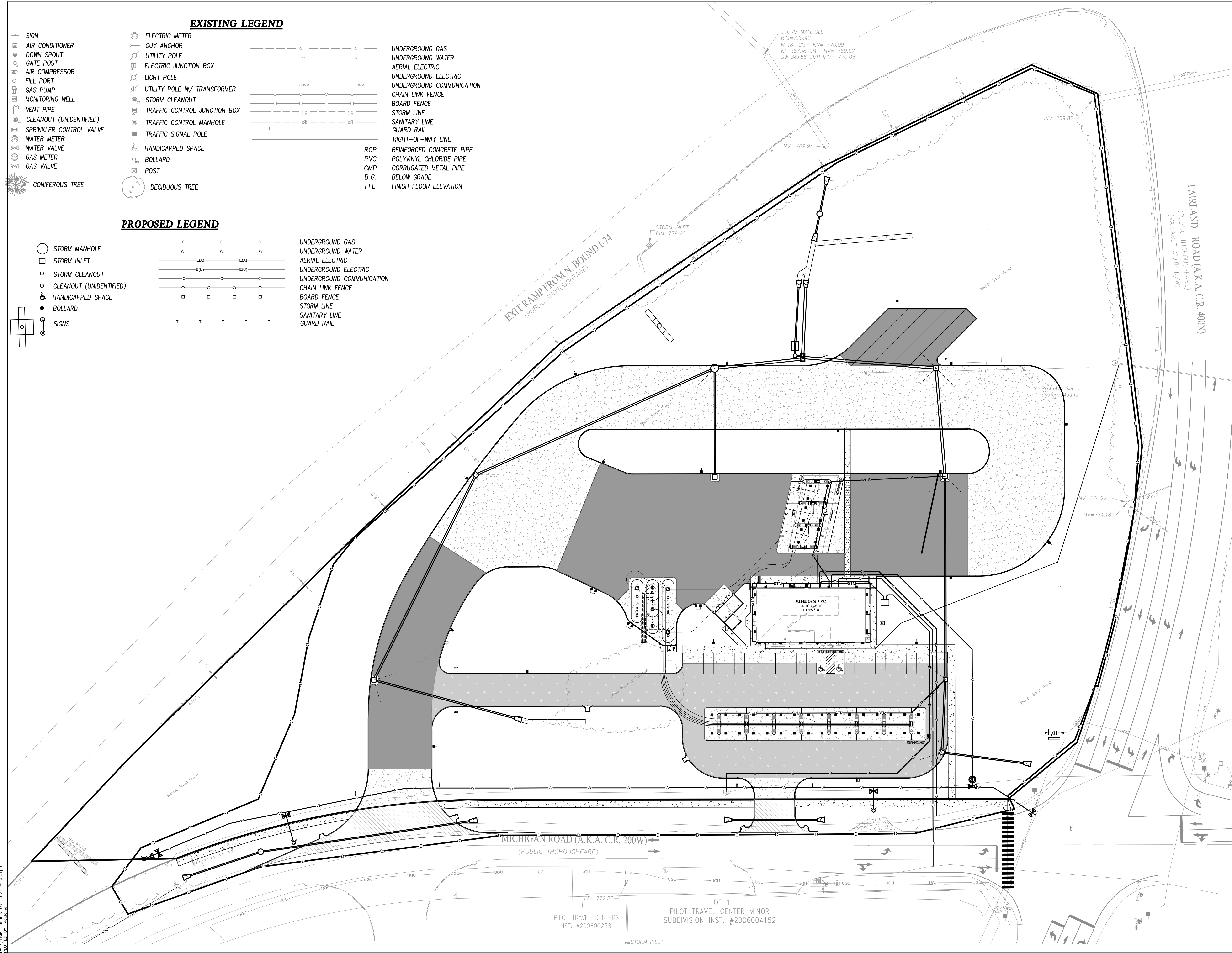
OVERLAY PLAN
NEW BUILD - STORE 100958
 3877-3977 North Michigan Road
 Shelbyville, IN
 Shelby County

STORE OR BLDG NO.	100958
PROJECT ID NO.	103200
SCALE	0 40 80 1"=40'
DESIGN TEAM	DATE
DGNR. Weihe	11/20/2020
P.MGR. Jennifer High	11/20/2020
RVWR. Ryan Roosen	11/20/2020
DRWG. NO.	CD1



811 or 800-382-5544
 24 hours a day, 7 days a week.
 PER INDIANA STATE LAW IC 8-1-26,
 IT IS AGAINST THE LAW TO EXCAVATE
 WITHOUT NOTIFYING THE UNDERGROUND
 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

LOCATION: H:\2020\W200447\Engineering\design\cases\02 FE SET (data)\02 - CD1 - DEMOLITION OVERLAY PLAN.dwg
 DATE PLOTTED: 11/20/2020 10:58:52 AM
 PLOTTED BY: Mchicklin



A. GENERAL NOTES

- ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- RESTORE TO ORIGINAL OR BETTER CONDITION ALL AREAS DISTURBED BY CONSTRUCTION. UPON COMPLETION, POWER WASH ALL PAVING TO OWNERS SATISFACTION.
- SHOW ALL MODIFIED PIPING, CONDUIT RUNS, UTILITIES AND ANY MODIFICATIONS MADE TO THE ORIGINAL DRAWINGS ON "AS-BUILT" PRINT AND TURN OVER TO OWNER'S REPRESENTATIVE UPON COMPLETION.
- THIS LAYOUT IS PARALLEL TO THE S00°31'11"E PROPERTY LINES.
- TURN-OVER MANUAL: ON THE DAY OF THE "TURN-OVER" THE CONTRACTOR WILL PROVIDE ONE (1) COPY OF THE COMPLETION MANUAL.
- OWNER SHALL PROVIDE AND THE CONTRACTOR SHALL IMMEDIATELY INSTALL AND MAINTAIN THROUGH OUT CONSTRUCTION (2) TEMPORARY BANNER SIGNS ANNOUNCING SPEEDWAY COMING SOON. THE SIGN SHALL DIRECT CUSTOMERS TO NEAREST SPEEDWAYS. CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO COORDINATE WITH SPEEDWAYS VENDOR TO ERECT THE ID SIGN(S) AS EARLY IN THE CONSTRUCTION PROCESS AS POSSIBLE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF THE ENTIRE SITE. THE PROPERTY CORNERS SHALL BE MARKED BY OWNER AND PROTECTED AND MAINTAINED BY CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL WOODEN FORMS PRIOR TO CONSTRUCTION COMPLETION.

B. BUILDING DETAILS

- CONSTRUCT C-STORE BUILDING #4600 R. OUK-BKIK PER DRAWINGS LISTED. HVAC SYSTEM SHALL BE ELECTRIC (GAS) AND BE (ROOF PAD) MOUNTED. THE FOLLOWING OPTIONS SHALL BE INSTALLED: (ALLUCOBOND SCREENING PANELS ON ROOFTOP HANDRAIL SIDE DOOR OPTION, BULLET RESISTANT OPTION).
- PAINT THE ENTIRE VERTICAL FACE OF THE SIDEWALK SHERWIN WILLIAMS SAFETY YELLOW (B85Y50) INCLUDING 4" ON TO THE TOP OF SIDEWALK EXCEPT WHERE GRADES ARE FLUSH AT HANDICAP RAMPS OR ADJACENT TO NON-PAVED SURFACES. DO NOT PLACE ON ASPHALT.
- CONSTRUCT BUILDING SIDEWALK AS SHOWN ON PLOT PLAN AND PER DRAWING STD-CPC-1. CONTRACTOR SHALL FOLLOW BUILDING PLAN DETAILS FOR SIDEWALK REINFORCEMENT IN FRONT OF BUILDING ACCESS POINTS.
- INSTALL SECOND READERBOARD WALL SIGN ON EXTERIOR OF BUILDING.

C. CANOPY DETAILS

- COORDINATE WITH VENDOR TO INSTALL NEW AUTO CANOPY PER MCGEE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR FOOTERS AND INSTALLING VENDOR ANCHOR BOLTS.
- USE AUTO CANOPY COLUMN FOUNDATIONS SIZE (16) 4X 4 X 5 FOR BIDDER PURPOSES IF AUTO CANOPY DRAWINGS ARE NOT AVAILABLE IN TIME FOR BIDDING. AUTO CANOPY DRAWINGS WILL BE AVAILABLE FOR CONSTRUCTION.
- COORDINATE WITH VENDOR TO INSTALL NEW COMMERCIAL FUELING LANE CANOPY PER MCGEE DRAWINGS.
- USE COMMERCIAL FUELING LANE CANOPY COLUMN FOUNDATIONS SIZE (8) 4X 4 X 7 FOR BIDDING PURPOSES IF COMMERCIAL FUELING LANE CANOPY DRAWINGS ARE NOT AVAILABLE IN TIME FOR BIDDING. COMMERCIAL FUELING LANE CANOPY DRAWINGS WILL BE AVAILABLE FOR CONSTRUCTION.
- INSTALL NEW HEAT TRACE CABLE THERMOSTAT CONTROLLER ON THE TRUCK CANOPY COLUMN OR UNDER THE BUILDING SIFFIT OUT OF DIRECT SUNLIGHT. (1) 3/4" CONDUIT TO BE INSTALLED FROM NEW THERMOSTAT TO BUILDING WIRE WAY.

D. DISPENSER DETAILS

- THE CONTRACTOR IS RESPONSIBLE FOR PURGING OF THE FUELING SYSTEM NECESSARY AT START-UP AND DISPENSER CALIBRATION. THE OWNER SHALL PAY FOR (1) THIRD-PARTY LINE TEST FOR EACH PRODUCT LINE AFTER PURGING IS COMPLETE. COST OF ANY ADDITIONAL DISPENSER CALIBRATIONS AND/OR LINE TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PURGE SYSTEM PER DISPENSER MANUFACTURER'S INSTRUCTIONS AND OWNER'S SPECIFICATIONS. ALL TESTING TO BE COORDINATED WITH SPEEDWAY COMPLIANCE DEPARTMENT. AFTER PURGING IS COMPLETE, CONTRACTOR SHALL REMOVE SCHRAEDER VALVES AND JUMPERS. CONTRACTOR SHALL REMOVE AND DISCARD SCREENS AND FACTORY FILTERS AND INSTALL NEW FILTERS (MODEL NOTED BELOW), FURNISHED BY OWNER. INSTALLATION DATES SHALL BE CLEARLY MARKED ON FILTER BY CONTRACTOR. FILTER MODELS ARE (A) AUTO: PETROCLEAR 40510W-AD (B) AUTO-DSL AND K-1: PETROCLEAR 40510W-AD (C) FLEX: CIMTEK 70991 (D) HIGHFLOW DSL: PETROCLEAR 51110W OR 40910W (E) RACING FUEL (CAM2 260 GT); PETROCLEAR 40510A (F) RACING FUEL (CAM2 STANDARD) AND NON ETHANOL: PETROCLEAR 40510W. SPEEDWAY'S MAINTENANCE DEPARTMENT SHALL INSTALL DISPENSER FACE LABELS.
- THE CONTRACTOR SHALL COMPLETE THE WAYNE PROVIDED START-UP CALIBRATION REPORT FORM "W2940136" PRIOR TO START-UP. THE E-1 TEST MUST BE COMPLETED VIA THE AUTO PRIOR TO OPENING FUEL SALES. FORM "917653-003" SHALL BE COMPLETED BY WAYNE'S AUTHORIZED SERVICE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH SPEEDWAYS' PREFERRED AUTHORIZED SERVICE CONTRACTOR (ASC) FOR TRIPS AS FOLLOWS:

TRIP	WAYNE ASC RESPONSIBILITIES	FINANCIAL RESPONSIBILITY
1	PREP DISPENSERS FOR CONTRACTOR TO PURGE PROGRAM E10 AUTOMATIC TANK QUANT MONITORING SYSTEM REVIEW CONTRACTOR'S PURGE WORK INSTALL EMV KITS	WAYNE
2	REVIEW CONTRACTOR'S COMPLETED WAYNE START-UP CALIBRATION FORM "W2940136" COMPLETE FORM "917653-003" (PRE: POS INTEGRATION)	WAYNE
3	COMPLETE FORM "917653-003" (POST: POS INTEGRATION)	WAYNE
4	POS INTEGRATION WITH SPEEDWAY IT ANALYST OPENING DAY SUPPORT (SPEEDWAY REQUIREMENT)	CONTRACTOR

- THE CONTRACTOR WILL BE RESPONSIBLE TO HAVE, AT A MINIMUM, THE SITE SUPERINTENDENT, CERTIFIED ELECTRICIAN, AND PETROLEUM START-UP CONTRACTOR ON-SITE AT OPENING FOR A MINIMUM OF (1) HOUR TO ENSURE PROPER OPERATION OF THE FUELING SYSTEM.
- INSTALL (8) NEW WAYNE 4 PRODUCT (3+1) HIGH HOSE DISPENSER WITH CARD READER. INSTALL (16) HOSES, NOZZLES, SWIVELS AND BREAKAWAY FOR GASOLINE DISPENSERS. (14) HOSES, NOZZLES, SWIVELS AND BREAKAWAY FOR DIESEL DISPENSERS AND (2) HOSES, NOZZLES, SWIVELS AND BREAKAWAY FOR ETHANOL FLEX DISPENSERS. PRODUCT PIPING LINE-UP AND FRONT SIDE "A" (F.S."A") OF DISPENSERS SHALL BE AS SHOWN.
- INSTALL (1) NEW WAYNE SINGLE PRODUCT "MASTER" DIESEL DISPENSER WITH CARD READER. INSTALL (1) HOSE, NOZZLE, SWIVEL AND BREAKAWAY FOR DIESEL PRODUCT. FRONT SIDE "A" (F.S."A") OF DISPENSER SHALL BE PER STD-TF-3.
- INSTALL (2) NEW WAYNE SINGLE PRODUCT "MASTER/SATELLITE" DIESEL DISPENSERS WITH CARD READER. INSTALL (2) HOSE, NOZZLE, SWIVEL AND BREAKAWAY FOR DIESEL PRODUCT. FRONT SIDE "A" (F.S."A") OF DISPENSER SHALL BE PER STANDARD DRAWING STD-TF-3.
- INSTALL (1) NEW WAYNE SINGLE PRODUCT "SATELLITE" DIESEL DISPENSER. INSTALL (1) HOSE, NOZZLE, SWIVEL AND BREAKAWAY FOR DIESEL PRODUCT. FRONT SIDE "A" (F.S."A") OF DISPENSER SHALL BE PER STANDARD DRAWING STD-TF-3.
- INSTALL NEW (1) 1" AND (3) 3/4" CONDUITS FROM WIRE WAY IN BUILDING TO EACH DISPENSER. (1) 1" CONDUIT TO BE USED FOR POWER/DATA. (1) 3/4" CONDUIT TO BE USED FOR DISPENSER SUMP SENSOR. (1) 3/4" CONDUIT TO BE USED FOR INTERCOM AND APPLAUSE MEDIA SYSTEM AND (1) 3/4" CONDUIT TO EACH DISPENSER FOR FUTURE USE. PULL NEW WIRE AND WIRE DISPENSER PER MANUFACTURER'S SPECIFICATIONS. (all except satellite dispensers)
- INSTALL (1) 3/4" CONDUIT FROM WIRE WAY IN BUILDING TO SATELLITE DISPENSER FOR DISPENSER SUMP SENSOR. PULL NEW WIRE AND WIRE PER MANUFACTURER'S SPECIFICATIONS. (satellite dispenser only)
- INSTALL (1) 3/4" JUMPER CONDUIT FROM EACH MASTER DISPENSER TO THE LIKE NUMBERED SATELLITE DISPENSER. INSTALL CONSOLE AND INTERFACE EQUIPMENT. PULL NEW WIRE AND WIRE DISPENSER PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL ESCO INTERCOM SYSTEM PER DIRECTION OF OWNER'S REPRESENTATIVE AND STANDARD DRAWING #STD-E1W.
- INSTALL END OF LINE HEAT TRACE BEACON LIGHT AT LAST DEF DISPENSER IN PIPE RUN. WIRE PER MANUFACTURER'S SPECIFICATIONS AND STANDARD DEF DETAILS.

E. PAVING DETAILS

- CONSTRUCT NEW HIGH STRENGTH CONCRETE TANK SLAB PER DRAWINGS STD-PQ-4.1 AND STD-CPC-1.
- CONSTRUCT NEW CONCRETE CAR CANOPY ISLAND SLAB PER DRAWINGS STD-CIS-A AND STD-CPC-1.
- CONSTRUCT NEW HIGH STRENGTH CONCRETE TRUCK CANOPY SLAB PER STD-CIS-CH.1 AND STD-CPC-1.
- INSTALL NORMAL STRENGTH ASPHALT PAVEMENT WITH AN AGGREGATE BASE PER PAVEMENT SECTION ON STD-CPC-1 AND USE THE RECOMMENDATIONS OF GEOTECHNICAL CONSULTANT FOR ALL OTHER SUBSURFACE CONDITIONS ON THIS SITE. NOTIFY OWNER'S REPRESENTATIVE IF THERE ARE ANY CONFLICTS.
- INSTALL HIGH STRENGTH ASPHALT PAVEMENT WITH AN AGGREGATE BASE PER PAVEMENT SECTION ON STD-CPC-1 AND USE THE RECOMMENDATIONS OF GEOTECHNICAL CONSULTANT FOR ALL OTHER SUBSURFACE CONDITIONS ON THIS SITE. NOTIFY OWNER'S REPRESENTATIVE IF THERE ARE ANY CONFLICTS.
- INSTALL HIGH STRENGTH CONCRETE PAVEMENT WITH AN AGGREGATE BASE PER PAVEMENT SECTION ON STD-CPC-1 AND USE THE RECOMMENDATIONS OF GEOTECHNICAL CONSULTANT FOR ALL OTHER SUBSURFACE CONDITIONS ON THIS SITE. NOTIFY OWNER'S REPRESENTATIVE IF THERE ARE ANY CONFLICTS.
- CONSTRUCT A 6" WIDE NORMAL STRENGTH CONCRETE SLAB ON BUILDING FRONT PARKING AREAS AS SHOWN ON PLOT PLAN.
- CONSTRUCT (2) CONCRETE APPROACHES (USE HIGH STRENGTH CONCRETE IN TRUCK APPROACHES) PER STATE AND/OR LOCAL SPECIFICATIONS. IF APPLICABLE, REMOVE CURB THROUGH APPROACH WIDTH AND REPLACE WITH (1) 12" HIGH DEPRESSURE CURB PER APPLICABLE SPECIFICATIONS.
- INSTALL 5" WIDE, 4" THICK (THROUGH APPROACH MATCH THICKNESS) CONCRETE SIDEWALK PER STATE AND/OR LOCAL SPECIFICATIONS. REMOVE AND REPLACE EXISTING WALLS AS NECESSARY TO ALLOW RAMP TO MEET A.D.A. REQUIREMENTS.
- INSTALL (8) NEW CONCRETE DISPENSER ISLANDS WITH 3' X 5' X 13" ISLAND FORM FOR AUTO DISPENSERS.
- INSTALL (3) NEW CONCRETE DISPENSER ISLANDS WITH 5' X 7' X 13" ISLAND FORM FOR MASTER OR MASTER/SATELLITE DIESEL DISPENSERS. ENTIRE WIDTH OF THE DEF AND DIESEL CABINETS TO BE CENTERED ON THE ISLAND PER STD-TF DETAILS.

- INSTALL (1) NEW CONCRETE DISPENSER ISLAND WITH 3' X 5' X 13" ISLAND FORM FOR SATELLITE DIESEL DISPENSER.
- CONSTRUCT CONCRETE CURB AND GUTTER IN RIGHT-OF-WAY PER STATE AND/OR LOCAL SPECIFICATIONS. MACHINE FORMED CURB AND GUTTER MAY BE USED IF ALLOWED BY STATE AND/OR LOCAL SPECIFICATIONS.
- CONSTRUCT CAST IN PLACE CONCRETE CURB INSIDE PROPERTY LINES PER DRAWING STD-CPC-1.
- CONSTRUCT RAMP WITH DETECTABLE WARNING SURFACE IN CONCRETE WALK PER APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- INSTALL 2'-0" WIDE DETECTABLE WARNING SURFACE ALIGNED ON ACCESSIBLE AISLE PER APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- INSTALL CONCRETE SLAB FOR AIR MACHINE PER DRAWING STD-CYE-A. INSTALL (1) 3/4" CONDUIT AND WIRE PER MANUFACTURER'S RECOMMENDATIONS. VERIFY INSTALLATION DETAILS WITH VENDOR.
- CONSTRUCT NEW DEF REMOVE FILL PAD PER STD-DEF-5.
- BID AS ALTERNATE A: PROVIDE A PRICE TO SUBSTITUTE CONCRETE PAVEMENT FOR ASPHALT PAVEMENT AND PROTECT FOR COLD WEATHER INSTALLATION.
- CONSTRUCT CONCRETE DRAINAGE FLUME PER DRAWING STD-CUD-2.
- INSTALL ALL CONCRETE TRANSFORMER PAD AT LOCATION INDICATED PER REQUIREMENTS OF LOCAL POWER COMPANY, INCLUDING ANY REQUIRED BOLLARDS.
- STAMPED CONCRETE PER CITY REQUEST.

F. YARD AREA DETAILS

- CONSTRUCT DUMPSTER ENCLOSURE AND COLLECTION PAD WITH ATTACHED STORAGE SHED AND RELATED WIRING AND CONDUIT PER DRAWING STD-SMB-1 AND STD-SS-QB-06. GATE SHALL BE CEDAR FENCE BOARDS. ENCLOSURE SHALL MATCH BUILDING MATERIAL.
- SUPPLY AND INSTALL (6) 6" BOLLARDS PER DETAIL ON DRAWING STD-CYE-A AND STD-SS SERIES DRAWING. BOLLARD SHALL BE PAINTED RED PER OWNER'S SPECIFICATIONS.
- SUPPLY AND INSTALL (20) 6" BOLLARDS PER DETAIL ON DRAWING STD-CYE-A. BOLLARD SHALL BE PAINTED RED PER OWNER'S SPECIFICATIONS.
- PAINT INDICATED ACCESSIBLE PARKING STALLS AND INSTALL SIGNAGE PER APPLICABLE CODES. PAINT ALL OTHER PARKING STRIPES PRO PARK WATERBORNE YELLOW (B97Y2467).
- INSTALL 3" PVC PIPE TO HOLD TANK STICK PER OWNER'S REPRESENTATIVE.
- PROVIDE AND INSTALL CODE APPROVED FIRE EXTINGUISHERS (11 MINIMUM) WITH PLASTIC BOX HOLDER IN APPROVED LOCATIONS AS REQUIRED BY LOCAL FIRE OFFICIALS. FIRE EXTINGUISHERS ARE OWNER SUPPLIED AND VENDOR INSTALLED AND SHALL BE LOCATED SUCH THAT AN EXTINGUISHER IS NOT MORE THAN 75 FEET FROM PUMPS, DISPENSERS, OR STORAGE TANK FILL OPENINGS. FIRE EXTINGUISHER MINIMUM RATING SHALL BE 2-A-20-B-C.
- CONSTRUCT (3) 18" DIAMETER LIGHT POLE BASES 2'-0" HIGH FOR 15' HIGH LIGHTS PER DETAILS ON DRAWING STD-CYE-A. INSTALL (1) 3/4" CONDUIT TO EACH BASE FROM ELECTRICAL PANELS PER THE OWNER'S REPRESENTATIVE AND WIRE FIXTURES. CONTRACTOR IS RESPONSIBLE FOR TOUCH-UP PAINTING ON POLES, ANCHORS BOLTS, ETC.
- CONSTRUCT (17) 24" DIAMETER LIGHT POLE BASES 2'-0" HIGH FOR 30' HIGH LIGHTS PER DETAILS ON DRAWING STD-CYE-A. INSTALL (1) 3/4" CONDUIT TO EACH BASE FROM ELECTRICAL PANELS PER THE OWNER'S REPRESENTATIVE AND WIRE FIXTURES. CONTRACTOR IS RESPONSIBLE FOR TOUCH-UP PAINTING ON POLES, ANCHORS BOLTS, ETC.
- NOT USED.
- PROVIDE AND INSTALL (1) 2" CONDUIT (OR LARGER BASED ON NEC CODES) AND WIRING FROM ELECTRICAL PANEL TO HIGH RISE SIGN FOR 120V POWER.
- PROVIDE AND INSTALL (1) 3/4" CONDUIT (OR LARGER BASED ON NEC CODES) AND WIRING FROM ELECTRICAL PANEL TO DIRECTIONAL SIGN FOR 120V POWER.
- CONTRACTOR SHALL SUPPLY AND INSTALL CONDUIT (SIZED PER NEC CODES), AND RG59/19-2 SIAMASE CABLE FOR YARD SECURITY CAMERAS TO THESE LOCATIONS. SECURITY CAMERAS SHALL BE INSTALLED BY SPEEDWAY MAINTENANCE DEPT.
- CONTRACTOR SHALL INSTALL CONDUIT (SIZED PER NEC CODES) AND INSTALL PULL STRING FOR FUTURE YARD SECURITY CAMERAS TO THESE LOCATIONS.
- EXISTING ID SIGN SHALL BE CLEANED AND RECEIVE NEW FACES, LAMPS, BALLASTS, (UPGRADE TO LED PRICER PANELS) AND PAINT TO THE EXTENT ALLOWED BY THE SIGN DRAINAGE.
- INSTALL CROSSWALK AND PUSH-BUTTON ACTIVATOR. MAY REQUIRE RE-CONSTRUCTION OF RAMP ON EAST SIDE OF ROAD. REFER TO PLANS BY OTHERS.

SITE DATA

SITE AREA = 8.13 AC
 BUILDING AREA = 4,800 SF
 PERCENT IMPERVIOUS = 37.9%
 ZONING = BH

FRONT YARD BSL REQUIRED = 50 FT
 FRONT YARD BUFFER = 10 FT
 REAR YARD BSL REQUIRED = 20 FT
 REAR YARD BUFFER = 10 FT
 SIDE YARD BSL REQUIRED = 10 FT
 SIDE YARD BUFFER = 10 FT

PARKING REQUIRED:
 1 PER EMPLOYEE
 + 1 PER 300 SF RETAIL
 PARKING REQUIRED = 21 SPACES
 PARKING DIMENSIONS = 9' x 18'
 BIKE PARKING REQUIRED = NOT REQUIRED

PARKING PROVIDED:
 23 - STANDARD SPACES
 2 - ADA SPACES
 25 - TOTAL SPACES

PAVEMENT

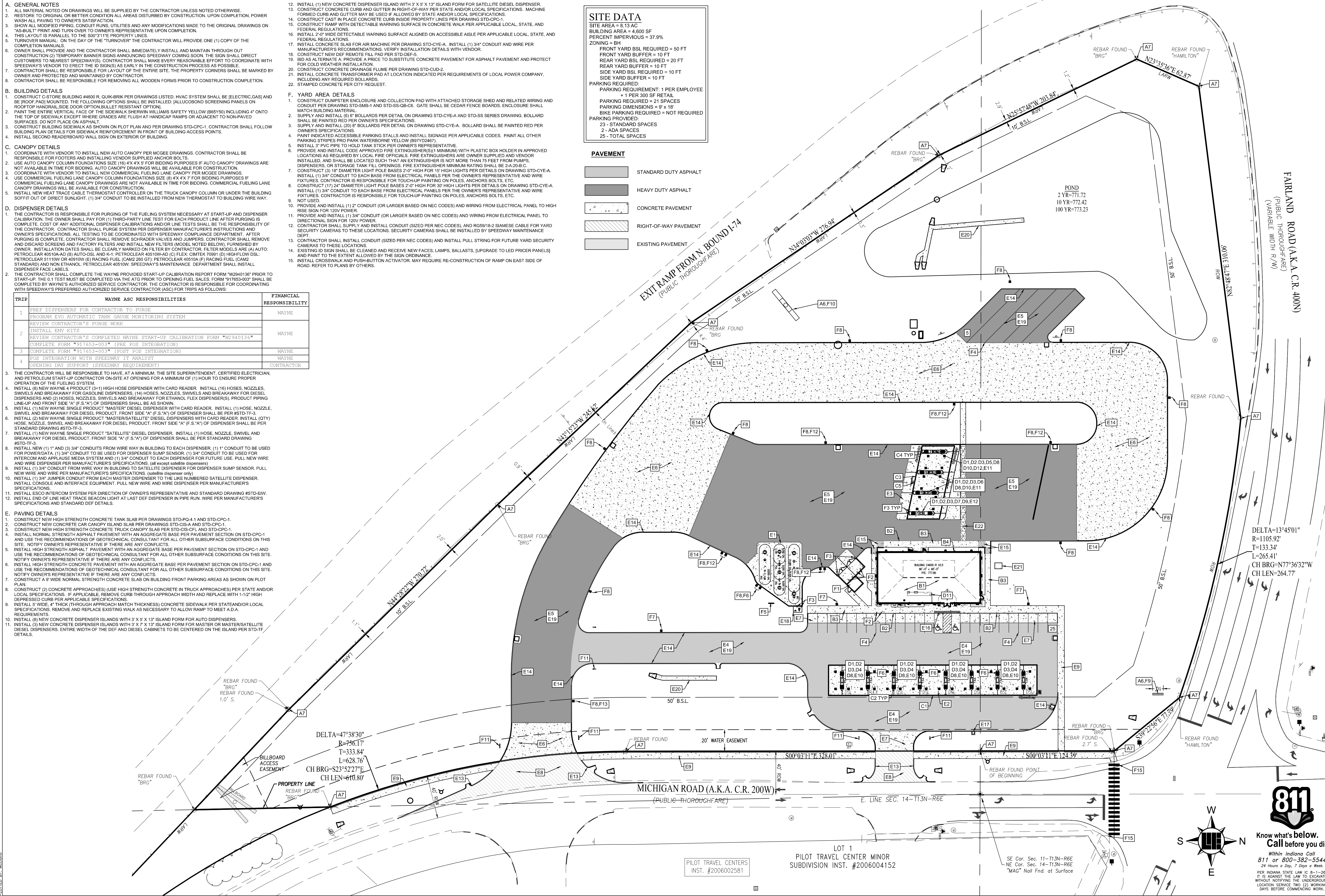
STANDARD DUTY ASPHALT

HEAVY DUTY ASPHALT

CONCRETE PAVEMENT

RIGHT-OF-WAY PAVEMENT

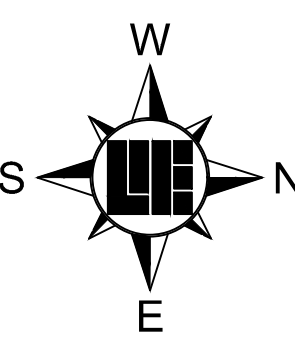
EXISTING PAVEMENT



DELTA=13°45'01"
 R=1105.92'
 T=133.34'
 L=265.41'
 CH BRG=N77°36'32"W
 CH LEN=264.77'

PILOT TRAVEL CENTERS
 INST. #2006002581

LOT 1
 PILOT TRAVEL CENTER MINOR
 SUBDIVISION INST. #2006004152



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 LOCATION SERVICE TWO (2) WORKING
 DAYS BEFORE COMMENCING WORK.

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 Land Surveying/Civil Engineering
 Landscape Architecture

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 Indianapolis, Indiana 46280
 317.846.4611
 800.452.6408
 317.843.0546/fax
 weihe.net

ALAN W. WEIHE, P.E., F.A.S.C.E.

REGISTERED PROFESSIONAL ENGINEER
 STATE OF INDIANA
 No. 11,86279

STEVEN SCOTT RUCKER, P.E. #1300279

Speedway
 Prepared By:
 Engineering and Construction Dept.
 Eton, OH 45323

NO.	REVISIONS	DATE	BY	APP'D.
1	CE PHASE PLANS	12/2/2020		

PLOT PLAN
NEW BUILD - STORE 100958
 3877 - 3977 North Michigan Road
 Shelbyville, IN
 Shelby County

STORE OR BLDG NO. 100958
 PROJECT ID NO. 103200
 SCALE 1"=40'

DESIGN TEAM DATE
 DGNR. Jennifer Weihe 11/20/2020
 P.MGR. Jennifer High 11/20/2020
 RVWR. Ryan Roosen 11/20/2020
 DRWG. NO. CS

LOCATION: H:\2020\100958\100958.dwg
 DATE PLOTTED: 11/20/2020 10:43:48 AM
 PLOTTED BY: MCHEN
 PLOT SCALE: 1"=40'

GENERAL NOTES

- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT. ALL MATERIAL SHALL ALSO CONFORM TO THE SPEEDWAY SPECIFICATIONS SECTION 328400 - PLANTING IRRIGATION, SECTION 329200 - TURF AND GRASSES, AND SECTION 329300 - PLANTS, FOR ANY SPECIFICATION CONFLICTS, THE AMERICAN STANDARD FOR NURSERY STOCK IS THE CONTROLLING SPECIFICATION.
- IF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST ARE FOUND, CONTACT THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR LANDSCAPE PORTION OF WORK.
- ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY OWNER'S REPRESENTATIVE. AT THE END OF THIS PERIOD, PLANT MATERIAL DEEMED AS DEAD OR UNSATISFACTORY BY OWNER'S REPRESENTATIVE SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING PRIOR TO BID DATE OF ANY PLANTS THAT THEY FEEL MAY NOT SURVIVE IN LOCATIONS NOTED. RECOMMEND HARDIER AND SALT TOLERANT VEGETATION FOR COLD WEATHER REGIONS.
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE HELD AND PROTECTED FROM DAMAGING WIND AND SUN. WATERED DAILY AND PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION OPERATIONS OR GET DAMAGED.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED. IF PLANTS SHOWN ARE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE PRIOR TO BID DATE IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION SHOWING GENUS, SPECIES AND VARIETY AT NURSERY OR CONTRACTOR'S OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
- LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 4 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY. AFTER REMOVAL OF NOTED ITEMS AND LOOSENING OF SUBSOIL, AMEND EXISTING OR PURCHASED TOPSOIL TO PROVIDE A WELL-DRAINING PLANTING MEDIUM THAT MEETS THE OPTIMUM GROWING REQUIREMENTS OF THE SPECIFIED PLANTS. A FULL 4 INCH LAYER OF OWNER APPROVED SHREDED FIBROUS PEAT MOSS MAY BE USED IN LIEU OF PLANTING MIX IN ALL PLANTING BEDS AND HEDGEROWS.
- ALL PLANTS, INCLUDING TREES, SHRUBS, GROUND COVER, AND FLOWERS, SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL BALLED AND BURLAPPED ROOT WRAPPING FABRIC AND BINDING TWINE SHALL BE MADE OF BIODEGRADABLE MATERIALS. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- GROUND COVER AND FLOWERS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS ORIGINAL GRADE BEFORE DIGGING. TREES AND SHRUBS SHALL HAVE A FINISH GRADE OF +1 INCH MAXIMUM TO ORIGINAL GRADE. WHERE HEAVY POORLY DRAINING SOILS ARE ENCOUNTERED SEEK APPROVAL FROM OWNER'S REPRESENTATIVE TO PLANT THE MATERIAL HIGHER THAN EXISTING GRADE TO AVOID DROWNING.
- SIZE OF VEGETATION DEPICTED ON DRAWINGS IS A MATURE-SIZED REPRESENTATION AND IS NOT INDICATIVE OF SIZE OF ITEM AT PLANTING.
- REFER TO PLAN CALLOUTS FOR ALL LANDSCAPE AREAS REQUIRING MULCH BEDDING. GRAVEL MULCH SHALL BE USED IN NARROW AREAS FOR LANDSCAPING BETWEEN THE BUILDING AND THE SIDEWALK, OR IN ANY MULCH BEDS ALONG SIDEWALKS OR PARKING SPACES. USE DARK BROWN, SHREDED, HARDWOOD MULCH IN ALL OTHER LOCATIONS (UNLESS OTHERWISE DENOTED ON THE PLAN AND/OR REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION).
- TREES ARE TO BE A MINIMUM OF 3 FEET AWAY FROM ANY HARDSCAPE FEATURE SUCH AS CURBS, WALKS, ETC. TREES SHALL HAVE A ROOT BARRIER SYSTEM IF WITHIN 3-5 FEET OF ANY HARDSCAPE FEATURE. MAINTAIN 3 FEET MINIMUM FROM THE NEAREST DRIPLINE ROOT BALL EDGE OF PLANTED TREES TO THE NEAREST EDGE OF ANY UTILITY LINES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES PRIOR TO COMMENCING WORK AND PROVIDE A ROOT BARRIER SYSTEM FOR TREES WITHIN 3-5 FEET OF UTILITY LINES.
- ALL AREAS NOTED "GRADE AND TURF" AND "MULCHED PLANT BED" WILL RECEIVE TOP SOIL AS INDICATED IN SPEEDWAY SPECIFICATIONS. FOR NON-IRRIGATION SITES, WATER LAWN FOR 30 DAYS POST TURNOVER DATE.
- ALL VEGETATION AND LANDSCAPING PROPOSED WITHIN THE RIGHT-OF-WAY IS ONLY ALLOWED IF REQUIRED BY LOCAL JURISDICTION

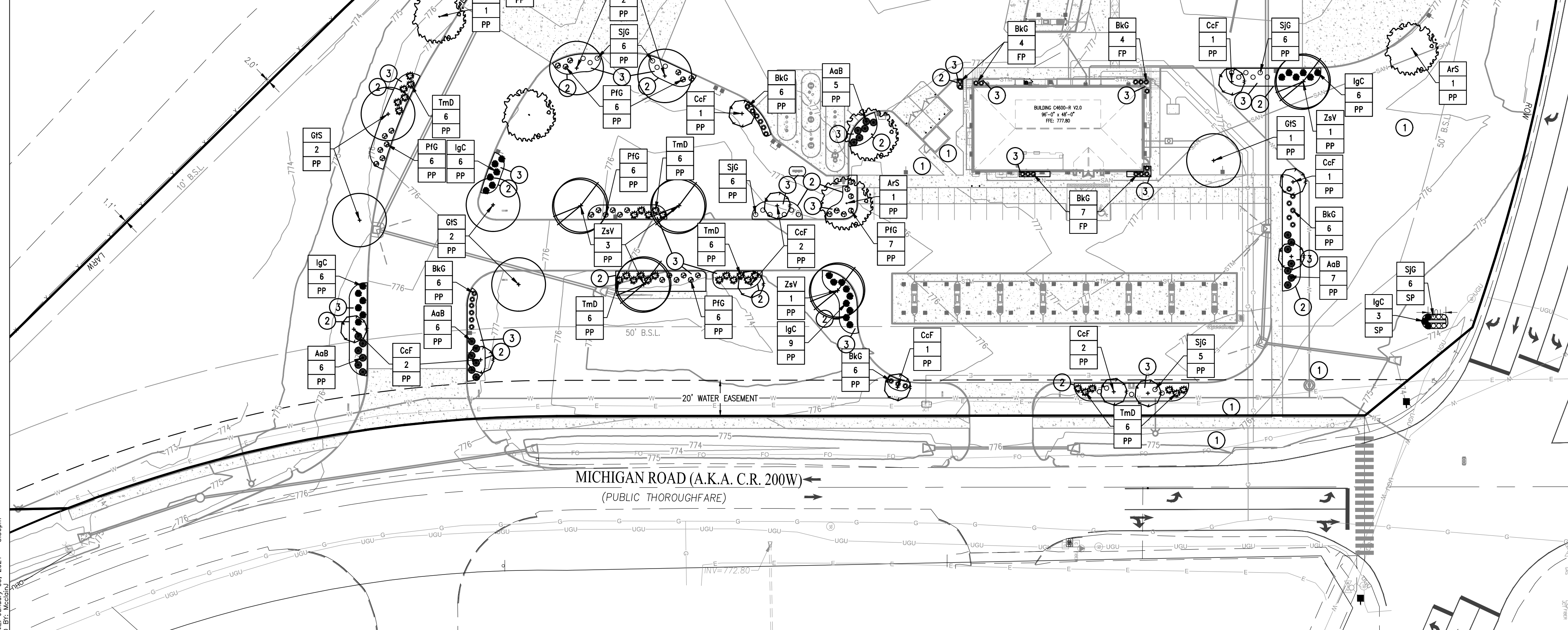
- ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT PER MANUFACTURER'S RECOMMENDATIONS AND WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING.
- AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING AND GROUND COVER BEDS AT RATES SPECIFIED BY MANUFACTURER FOR EACH VARIETY OF PLANT.
- ALL STORM WATER DETENTION BASINS SHALL HAVE GRASS COVERAGE UNLESS LOCAL CODE DICTATES OTHER TYPE OF VEGETATION TREATMENT OR AS CALLED OUT ON THE LANDSCAPING PLAN.
- USE GRASSES FOR SEEDING BY SPECIES THAT ARE FRESH, CLEAN, DRY, NEW-CROP SEED COMPLYING WITH AGASS' JOURNAL OF SEED TECHNOLOGY, RULES FOR TESTING SEEDS FOR PURITY AND GERMINATION TOLERANCES. ALSO, SEED SPECIES ARE TO BE SITE SPECIFIC STATE-CERTIFIED SEED OF GRASS SPECIES AS STATED ON DRAWINGS.
- WHEN SEEDING, EVENLY DISTRIBUTE SEED BY SOWING THE SPREADER OR SEEDING MACHINE IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER PER SEEDING RATE LISTED ON DRAWINGS. RAKE SEED LIGHTLY INTO TOP 1/8 INCH OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH A FINE SPRAY. PROTECT SEEDS BY SPREADING STRAW MULCH AT A RATE OF 2 TONS/ACRE WITH 1-1/2 INCHES IN LOOSE THICKNESS.
- WHEN SEEDING BY HYDROSEEDING MIX, PROVIDE SLOW-RELEASE FERTILIZER AND FIBER MULCH IN WATER, USING EQUIPMENT SPECIFICALLY DESIGNED FOR HYDROSEED APPLICATION. UNIFORMLY BLEND INTO HOMOGENEOUS SLURRY. APPLY THE SLURRY UNIFORMLY AT A RATE SO THAT MULCH COMPONENT IS DEPOSITED AT NOT LESS THAN 1500 LB/ACRE DRY WEIGHT, AND SEED COMPONENT IS DEPOSITED AT NOT LESS THAN THE SPECIFIED SEED-SOWING RATE.
- WHEN USING TURFGRASS SOD THE QUALITY WILL COMPLY WITH "SPECIFICATIONS FOR TURFGRASS SOD MATERIALS" IN TPIS "GUIDELINE SPECIFICATIONS TO TURFGRASS SODDING".
- LAY SOD WITHIN 24 HOURS OF HARVESTING. LAY SOD WITH TIGHTLY FITTED JOINTS, OFFSETTING JOINTS IN ADJACENT COURSES; DO NOT STRETCH OR OVERLAP; TAMP AND ROLL LIGHTLY. FILL MINOR CRACKS BETWEEN PIECES OF SOD WITH SOIL OR SAND. LAY SOD ACROSS ANGLE OF SLOPES EXCEEDING 1:3. ANCHOR SOD ON SLOPES EXCEEDING 1:6 WITH WOOD PEGS OR STEEL STAPLES. SATURATE SOD WITH FINE WATER SPRAY WITHIN TWO HOURS OF PLANTING. FOR THE FIRST WEEK, WATER DAILY TO MAINTAIN MOIST SOIL TO A MINIMUM DEPTH OF 1-1/2 INCHES BELOW SOD.

LEGEND

- SITE TRIANGLE
- QUANTITY
- PLANTING AREA
- FP = FOUNDATION PLANTINGS
- PP = PERIMETER PARKING LOT
- YP = YARD PLANTINGS
- SP = SIGN PLANTINGS

NOTES:
PLANTS SHALL MEET OR EXCEED THE STANDARDS AS DESCRIBED IN ANSI Z60.1 (LATEST EDITION) PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
PLANTS SHALL BEAR A TAG SHOWING GENUS, SPECIES AND VARIETY.

PLANTS SHALL BE CERTIFIED BY THE STATE OF INDIANA DEPARTMENT OF NATURAL RESOURCES AND FREE FROM DISEASE OR HAZARDOUS INSECTS.



LANDSCAPE PLAN NOTES

- SEED OR SOD- REFER TO CHART ON EROSION CONTROL PLAN & COORDINATE WITH OWNER
- LANDSCAPE BED EDGE (TYP). ALL EDGING IS A NATURAL EARTH EDGE AS SHOWN IN DETAIL ON SHEET LP1
- HARDWOOD MULCH (ALONG BUILDING OR SIDEWALKS USE GRAVEL MULCH)
- STEEP BANKS AND CUTS, LOW-MAINTENANCE AREAS (NOT MOVED) GRASS MIX. SEE PERMANENT SEED CHART ON LP1

MAINTENANCE PLAN NOTES

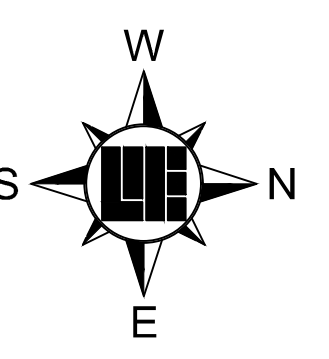
- MULCH - 4,819 SF
- PAVEMENT - 125,900 SF
- GRASS - 180,109 SF
- SIDEWALK - 4,000 SF

LANDSCAPE ORDINANCE REQUIREMENTS

REQUIREMENT:	REQUIRED:	PROVIDED:
5.32: NON-RESIDENTIAL FOUNDATION PLANTINGS (FP) - FACADES THAT FACE A STREET BUT ARE 8' OR LESS SHALL PLANT 3 SHRUBS. - FACADES THAT FACE A STREET AND ARE OVER 80' - 1 SHRUB / ORNAMENTAL TREE FOR EVERY 20' OF FACADE. - ALL OTHER FACADES: 1 SHRUB / ORNAMENTAL TREE FOR EVERY 40'.	FAIRLAND ROAD FACADE 48' = 3 SHRUBS MICHIGAN ROAD FACADE 96' / 20' = 5 SHRUBS SOUTH FACADE 48' / 30' = 2 SHRUBS WEST FACADE 96' / 20' = 5 SHRUBS	FAIRLAND ROAD FACADE 3 SHRUBS MICHIGAN ROAD FACADE 5 SHRUBS SOUTH FACADE 2 SHRUBS WEST FACADE 5 SHRUBS
5.33: NON-RESIDENTIAL YARD PLANTINGS (YP) - LOTS OVER 20,000 SF SHALL PLANT 2 CANOPY TREES PLUS 1 CANOPY TREE FOR EVERY ADDITIONAL 25,000 SF OF LOT SIZE ABOVE 40,000 SF. 10 TREES IS THE MAXIMUM NUMBER OF TREES REQUIRED. - TREES SHALL BE IN THE FRONT AND/OR SIDE YARD, NOT WITHIN 2' OF ANY PROPERTY LINE.	378,100 SF LOT 2 + (378100-40000)/25000 = 18 TREES MAX TREES = 10 TREES	19 TREES (FROM PP REQUIREMENT)
5.35: PARKING LOT PERIMETER LANDSCAPING (PP) - LANDSCAPED AREAS SHALL BE A MINIMUM OF 10' WIDE AROUND PARKING SPACES, INTERIOR DRIVES, AND LOADING AREA. - 1 TREE FOR EVERY 600 SF OF LANDSCAPED AREA, WITH A MAXIMUM OF 1 TREE FOR EVERY 400 SF. 60% OF TREES MAY BE ORNAMENTAL. - 1 SHRUB FOR EVERY 100 SF OF LANDSCAPED AREA.	31846 SF 31846 / (600 MIN - 400 MAX) = 54.7 TREES 31846 / 100 = 319 SHRUBS	55 TREES 319 SHRUBS
5.58: GENERAL SIGN STANDARDS, LANDSCAPE STANDARD (SP) - AT BASE OF GROUND SIGN LANDSCAPED AREAS SHALL BE A MINIMUM OF 0.75 SF FOR EACH SF OF SIGN. - LANDSCAPED AREAS SHALL HAVE SHRUBS AND/OR PERENNIAL GROUND COVER WITH A SPACING OF 3'-0".	61.1 SF GROUND SIGN LANDSCAPE AREA: 45.8 SF	61.1 SF GROUND SIGN LANDSCAPE AREA: 64 SF 9 SHRUBS

PLANT SCHEDULE

PLAN KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	ROOT B & B/C/CONT	ON CENTER SPACING	SPECIAL INSTRUCTIONS	MATURE SIZE
CANOPY DECIDUOUS TREES								
AaB	ACER RUBRUM 'SOMERSET'	SOMERSET RED MAPLE	2 1/2"	13	X	SEE PLAN	X	23T x 11"W
GIS	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2 1/2"	14	X	SEE PLAN	X	45T x 35"W
ZsV	ZELKOVA SERRATA 'VILLAGE GREEN'	VILLAGE GREEN ZELKOVA	2 1/2"	14	X	SEE PLAN	X	60T x 50"W
ORNAMENTAL UNDERSTORY TREES								
CcF	CERCIS CANADENSIS 'FLAME'	FLAME EASTERN REDBUDD	1 1/2"	14	X	SEE PLAN	X	25T x 20"W
DECIDUOUS SHRUBS								
AaB	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY	#3	58	X	SEE PLAN	MIN 18"	8T x 4"W
PIG	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	#3	56	X	SEE PLAN	MIN 18"	3T x 3"W
SjG	SPIRAEA JAPONICA 'GALEN'	DOUBLE PLAY ARTIST SPIREA	#3	59	X	SEE PLAN	MIN 18"	2.5T x 2.5"W
EVERGREEN SHRUBS								
BkG	BUXUS X KOREANA 'GREEN VELVET'	GREEN VELVET BOXWOOD	18"	59	X	SEE PLAN	MIN 18"	3T x 3"W
IgC	ILEX GLABRA 'CHAMZIN'	NORDIC HOLLY	18"	54	X	SEE PLAN	MIN 18"	4T x 4"W
TmD	TAXUS X MEDIA 'DENSIFORMIS'	DENSE JAPANESE YEW	#5	56	X	SEE PLAN	X	3T x 4"W



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weh@weh.net
ALAN WEIHE, P.E., L.S., L.D.S.

ERIC A. CARTER, R.L.A. 20300131
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
STATE OF INDIANA
NO. 20300131
ISSUED 12/18/2020

Speedway®
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Speedway Engineering and Construction Dept.
Enon, OH 45323

LANDSCAPING PLAN
NEW BUILD - STORE 100958
3877-3977 North Michigan Road
Shelbyville, IN
Shelby County

STORE OR BLDG NO. **100958**
PROJECT ID NO. **103200**
SCALE **1"=40'**
DESIGN TEAM **DATE**
DGNR. **Weithe** 11/20/2020
P.MGR. **Jennifer High** 11/20/2020
RVWR. **Ryan Roosen** 11/20/2020
DRWG. NO. **LP**

LOCATION: H:\2020\100958\Engineering\Design\Store100958.dwg
DATE/TIME: January 06, 2021 10:35am
PLOTTER: B2, MicroPlot

CITY OF SHELBYVILLE

Adam M. Rude
Director



Allan Henderson
Deputy Director

BOARD OF ZONING APPEALS

MEETING DATE: 1/12/2021

Case #:	BZA 2020-17 Special Exception Use			
Petitioner's Name:	Speedway LLC			
Owner's Name:	Exit 109, LLC			
Petitioner's Representative:	Weihe Engineers, Inc./ Eric Carter			
Address of Property:	3877-3977 North Michigan Road			
Subject Property Zoning Classification:	BH – Business Highway within the Race Track Overlay District (RT-OL)			
Comprehensive Future Land use:	Gateway Mixed Use			
	North	East	South	West
Surrounding Properties' Zoning Classifications:	BH – Business Highway	BH – Business Highway	IL – Light Industrial	C2 – Highway Commercial District (Shelby County)
Surrounding Properties' Future Land Use	Entertainment	Gateway/ Mixed Use	Institutional	Gateway/ Mixed Use
History:	<p>In 2006, 2009, and 2016 development attempts were made on this property, neither were successful and ended before all required approvals from the Planning Commission were granted. In 2006 the driving development was a hotel, which initiated a preliminary plat of the land. Again in 2009 the driving development was a hotel, this again initiated a preliminary plat that was approved. Due to external concerns, the final plat was never submitted to the Planning Commission. In 2016 the driving development was a fast food restaurant, with additional possible out lots, the final plat was never filed with the Plan Commission.</p>			
Vicinity Map:				
Action Requested:	Approval of one special exception use to allow for to allow for fuel sales in conjunction with a convenience store/restaurant			

Speedway LLC would like to operate a convenience store in conjunction with fuel sales. The property is zoned BH- Business Highway, but is located in the Race Track Overlay District. Vehicle Fuel Sales is a special exception use in the Race Track Overlay District (RT-OL) district, that must be approved by the Board of Zoning Appeals on a case-by-case bases.

Special Exception Use Findings of Fact, for “Fuel Sales”

General Welfare: Explain why granting the request for a special exception will not be harmful to the public health, safety and general welfare of the City of Shelbyville.

Applicant provided the following response to Finding of Fact #1 “The underground storage tanks, piping and dispensers associated with the fueling for both the commercial and auto will meet current environmental, State and Federal standards.”

The planning staff has determined that the requested special exception use would not be harmful to the public health, safety and general welfare of the City of Shelbyville. The proposed use is consistent and complimentary to other uses in the area including another fuel sales service. Special attention should be given to ensure proper traffic management with the potential for increased vehicular and truck traffic.

Finding #1 has been satisfied by the petitioner

Compatibility and Impact: Explain why the special exception will be in harmony with the adjacent uses and will not substantially have an adverse impact on the adjacent properties and property values.

Applicant provided the following response to Finding of Fact #2 “The commercial and auto fueling for this convenience store is compatible with the adjoining property and will serve surrounding entertainment use.”

The planning staff has determined that the requested special exception use of fuel sales should not be injurious to the public health, safety, or morals, but could have an effect on traffic and aesthetic quality of the district if these items aren’t taken into consideration during the design of the facility. The intent of the Race Track Overlay (RT-OL) District is to allow for further review of development proposals to better guide growth in this intensely used area. Adding another truck stop would likely have a negative impact on the aesthetics of the area and the traffic conditions around the interchange, the planning staff recommends limiting the amount of diesel only fuel pumps designed for large trucks and limiting the amount of semi-trailer parking. The degree to which parking spaces and fuel pumps should be limited shall be determined after hearing testimony from the petitioner and public, based on what is both reasonable to sustain business while also minimizing any adverse impact. In addition long term and overnight parking needs to be prohibited to ensure this project does not development characteristics of a traditional truck stop, a use that is strictly prohibited in this overlay district.

Finding #2 has been satisfied by the petitioner if staff recommended conditions are met

Character: Explain why the special exception will not adversely alter the character of the zoning district.

Applicant provided the following response to Finding of Fact #3 “Commercial and auto fueling is regulated via Special Exception in the Business Highway zoning ordinance. It will serve surrounding entertainment use and is compatible with adjoining property use.”

The planning staff has determined that the requested special exception use will not adversely alter the character of the zoning district. The site is immediately adjacent to Interstate 74 and the base zoning is Business Highway (BH). The Business Highway (BH) zoning does allow for gas stations and the site is in a location to accommodate interstate travelers. Additionally, there is another fuel sales operation adjacent to the site.

Finding #3 has been satisfied by the petitioner

Comprehensive Plan: Explain why the special exception is consistent with the intent of the zoning district and the goals of the comprehensive plan. Use statements and Future Land Use map from the Comprehensive Plan and Article 2 of the Unified Development Ordinance.

Applicant provided the following response to Finding of Fact #4 “Fuel sales are regulated via Special Exception in the zoning district. The convenience store with proposed fueling compliments the casino and racetrack operations and potential retail, hotel and restaurants for both the entertainment and Gateway Mixed Use classification in the Comprehensive Plan by supporting these developments.”

The planning staff has determined that the requested special exception use is consistent with the goals of the Comprehensive Plan and Article 2 of the Unified Development Ordinance. As identified in the Comprehensive Plan, the area around race track/casino is planned for entertainment and gateway mixed use. The entertainment classification, primarily located around the casino and the interstate interchange is meant to compliment the casino and may include retail, hotel, and restaurants. The gateway mixed used classification is meant to be a mix of uses that provides flexibility to the types of uses best suited for the gateway areas of the city. The Business Highway (BH) District is intended to provide areas for business that either services travelers or requires immediate access to high-volume streets for the delivery of goods and services. The Race Track Overlay (RT-OL) district is established to ensure that development around the race track adequately accommodates the traffic in the area, establishes a complimentary set of land uses, and provides an aesthetically pleasing environment for visitors to the City of Shelbyville.

Finding #4 has been satisfied by the petitioner

Finding of Fact #5 – Impact to Adjacent Area: The use and property value of the area adjacent to the subject property seeking a Special Exception will not be affected in a substantially adverse manner.

Applicant provided the following response to Finding of Fact #1 “The proposed fuel sales will be compatible with the adjoining use and will provide support for the surrounding entertainment and potential development.”

The planning staff has determined that the requested special exception use is a complimentary use to the adjacent properties providing similar services and retail support for other businesses and visitors to the casino.

Finding #5 has been satisfied by the petitioner

BZA 2019-13: STAFF RECOMMENDATION: APPROVAL WITH CONDITIONS:

- 1. LIMIT THE NUMBER OF FUEL PUMPS DESIGNED FOR LARGER TRUCKS TO _____**
- 2. LIMIT THE NUMBER OF PARKING SPACES FOR LARGER TRUCKS TO _____**
- 3. PROHIBIT LONG TERM OR OVERNIGHT PARKING ON THE SITE**
- 4. SIGNAGE SHALL PLACED TO PROHIBIT LONG TERM OR OVERNIGHT PARKING ON THE SITE**

DEVELOPMENT STANDARDS VARIANCE: BZA 2020-17: Special Exception Use

FINDINGS OF FACT BY THE SHELBYVILLE BOARD OF ZONING APPEALS

Staff Prepared

Motion:

(I) would like to make a motion to approve the requested special exception use to allow for fuel sales in conjunction with a convenience store in accordance with the conditions suggested by the planning staff pursuant to the findings of fact presented in the planning staff's report.

- 1. The approval of the Development Standards Variance **will not** be injurious to the public health, safety, morals and general welfare of the community.
- The approval of the Development Standards Variance **will** be injurious to the public health, safety, morals and general welfare of the community.
- 2. The use and value of the area adjacent to the subject property seeking a Development Standards Variance **will not** be affected in a substantially adverse manner.
- The use and value of the area adjacent to the subject property seeking a Development Standards Variance **will** be affected in a substantially adverse manner.
- 3. The strict application of the terms of the ordinance **will** result in practical difficulties in the use of the property. The practical difficulty shall not be self-imposed, nor based on a perceived reduction of, or restriction on, economic gain.
- The strict application of the terms of the ordinance **will not** result in practical difficulties in the use of the property. The practical difficulty shall not be self-imposed, nor based on a perceived reduction of, or restriction on, economic gain.

Additional conditions imposed by the Board of Zoning Appeals:

- 1.
- 2.
- 3.

Shelbyville Board of Zoning Appeals

By: _____

Chairperson

Attest: _____

Secretary